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## MEMORANDUM

TO: Mayor Stille and St. Anthony Village City Council  
St. Anthony Planning Commission

FROM: Stephen Grittman, City Planner

DATE: November 10, 2021

MEETING DATE: November 16, 2021

RE: St. Anthony Village – 3803 Stinson Boulevard (City Gas Station Site)

NAC FILE NO: 323.02

The City's HRA has owned the above property, a parcel of approximately one acre (.95 acres per Ramsey County property data), for a number of years, acquiring it from the US government. The property is within the larger Silver Lake Village PUD area, zoned PUD as such. Prior to the City's acquisition, the property was operated as a small strip retail center, including a convenience store/gasoline fuel station, canopy, and fuel pumps.

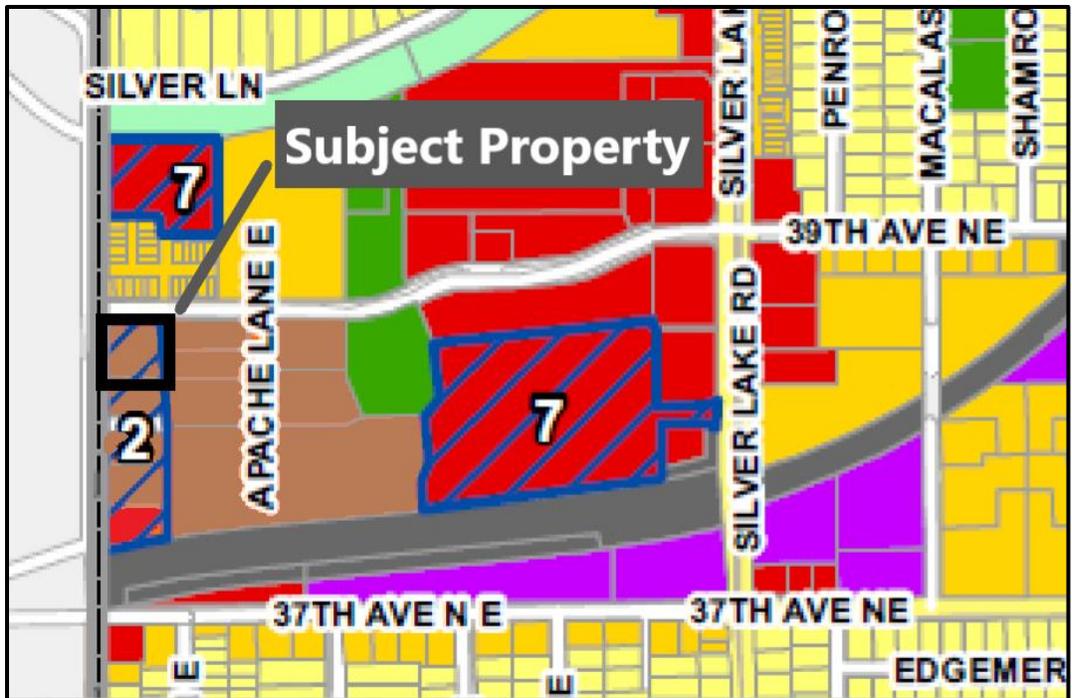
This work session is intended to provide a forum for identifying any specific objectives that the City may have for redevelopment of the site, and provide a baseline for staff direction to development interests.

The strip center building and detached canopy are still in place, although vacant for the period of the City's ownership. The building is approximately 8,000 square feet in area. While the fuel pumps have been cleared, the underground fuel tanks have not been removed. City staff, in researching this issue, have found that the tanks are not required to be removed within any particular timeframe, although redevelopment of the site would likely require their removal at that time.

The site itself is bounded by a private automated car wash to the south, The Legends senior housing to the east, The Cottages townhouse development to the north (across 39<sup>th</sup> Ave. NE), and a church and multi-family housing to the west, across Stinson in Columbia Heights.

St. Anthony's 2040 Comprehensive Plan identifies the site for redevelopment. It is a part of Redevelopment Site No. 2, shown below:

*Our Mission is to be a progressive and welcoming Village that is walkable, sustainable and safe.*



The Comprehensive Plan identifies the types and densities of land uses in each residential category, a portion of which is shown in the table below:

Land Use Category	Land Uses	2040 Plan Density Range, per acre		2030 Plan Density Range, per acre	
		Min	Max	Min	Max
Low Density Residential	<ul style="list-style-type: none"> <li>• Detached housing units</li> <li>• Accessory units</li> <li>• Duplexes</li> <li>• Churches, schools and institutional uses</li> </ul>	2	4	2	4
Mid Density Residential	<ul style="list-style-type: none"> <li>• Duplexes or multiplexes</li> <li>• Accessory units</li> <li>• Rowhomes or Side-by-Side townhomes</li> <li>• Garden apartments</li> <li>• Apartment buildings (2-3 stories)</li> <li>• Churches, schools and institutional buildings</li> </ul>	4	20	3	8
High Density Residential	<ul style="list-style-type: none"> <li>• Rowhomes or Side-by-Side townhomes</li> <li>• Accessory units</li> <li>• Garden apartments</li> <li>• Apartment buildings (2-5 stories)</li> <li>• Churches, schools and institutional uses</li> </ul>	20	40	8	40

The density counts are identified for the entire high density designated areas, and are averaged over that designation. The unit styles listed in the table include row-homes, townhouses, garden apartments, and larger apartment buildings. From a density standpoint, apartment projects will fit the 20-40 units per acre range, depending on the floor count. Row homes and townhouses will usually fall below the range, given the land areas dedicated to each unit. The Plan presumes that some individual projects will fall below the range given the allowable unit styles, but that the overall density in the high-density areas will meet the range specified.

With that, the City can consider a variety of project types on the property in question. Because the multiple family areas of the Silver Lake Village PUD are largely built out, or being constructed currently, and at densities well above the 20 unit per acre minimum threshold, a project of any size on this one-acre parcel will barely move the overall average density number for the larger district.

The City has been approached by a development interest that proposes a small apartment complex on the property, with a total of 38 units – the development group describes it as the same as that which they are currently constructing at 3725 Stinson, one block south of the gas-station site. As the City may recall, that project is a 38 unit structure with surface parking, and is designed to be a low-amenity building with the goal of providing housing to workforce/affordable markets, but without public subsidies.

For most land use decisions, factors to account for include transportation and access, surrounding land use compatibility, utility impacts (if any), and Comprehensive Plan policies. The City's consideration of land uses on this site would appear to be open to a range of housing, given the land use direction (high density residential), and the Comprehensive Plan's acceptance of a variety of housing styles. Finally, it is also common that development design and quality routinely become a factor in land use decision-making, and these elements may be important in the City's consideration of any particular proposal.

Staff is seeking feedback from City Council and Planning Commission as to any particular direction to lead interested development parties on the project, as well as direction to the current party. While inquiries are often general in nature, the current proposal has a more specific expectation and a current model to evaluate it against. In any case, direction from public officials will benefit both this developer and any others in the preparation of further plans, particularly given the range of options that the Comprehensive Plan makes available to the City.

Elements that may have bearing on the City's response may include the following:

- Density and Unit Count
- Project Design and Architecture
- Building Massing
- Market
- Affordability
- Sustainability Features
- Site Amenities, Features, Landscape
- Support Features (parking, etc.)

To the extent that there may be, or may not be, quantifiable direction in any of these categories or others, staff is interested to know that content, in an effort to better convey those objectives to interested development parties as appropriate.